

POOLS

CHAPTER 14.30 1 and 2 : A-K

(1) PUBLIC SWIMMING POOLS. All public pools shall be constructed and maintained in accordance with the provisions of the Wisconsin Administrative Code.

(2) PRIVATE SWIMMING POOLS.

- (a) Definition. The term "private swimming pool" is defined as a receptacle for water, or an artificial pool of water, having a depth at any point of more than 36 inches or more than 15 feet in diameter, whether above or below the ground, located in a residential zoning district, used or intended to be used by the owner, family and invited friends, for sunbathing or swimming, and includes all structures, appurtenances, equipment, appliances, and other facilities appurtenant thereto and intended for the operation and maintenance of a private swimming pool. Temporary pools less than 200 square feet in area and less than 36 inches in water depth, and/or 15 feet in diameter which are dismantled and removed for the winter are not included in this Ordinance. This definition includes self-contained spa, spas or hot tubs. Self-contained spa or hot tub and spa or hot-tub means a factory fabricated unit or a hydro-massage pool, or a tub for recreation or therapeutic use designed for immersion of users and usually having a filter, heater and motor-driven blower, generally not designed or intended to have its contents drained or discharged after each use.
- (b) No person shall construct, install, or reconstruct a private swimming pool which is not enclosed in a permanent building in the City except in accordance with the regulations of this Ordinance.
- (c) Swimming pools that are completely enclosed within a permanent building, shall comply with all other applicable Ordinances, building codes, regulations and statutes but where a conflict occurs between regulations for a pool in a permanent building and the terms of this Section, this Section does not apply.
- (d) Permit. No person shall construct, install, enlarge, or alter any private swimming pool unless permits have been obtained from the Building, Electrical and Plumbing Inspectors. The pool permit fees shall be set from time to time by resolution of the Common Council. Applications shall be on forms provided by the Building Inspector. Applications shall be accompanied by the following:
- Survey or accurate drawing of the property, **in duplicate**, showing all dimensions for existing structures and lot lines as well as all the proposed improvements, including but not limited to, the swimming pool or spa location, fencing, overhead or underground electrical wiring, water lines, decking, water disposal system or septic system, and heating, pumps and filtration systems.
 - Two (2) copies of brochure which shows the type, style, etc. of the pool or spa to be installed.



POOLS CONTINUED:

- (e) The Building Inspector may refer an application for a private swimming pool to the Plan Commission when it is apparent that due to the configuration of the lot, the pool may become a visual or audible nuisance for a determination as to whether the private swimming pool requires screening by use of dense vegetation, aesthetic fencing, structural barriers or a combination thereof based on the scale plan submitted with the application. The Commission shall have the authority to approve, deny, or impose appropriate changes or safeguards. Its decision shall be based upon the avoidance of a substantial adverse effect upon property values in the neighborhood.
- (f) Location of pool_ A private swimming pool shall be constructed in accordance with the following requirements:
- Distance required: All private swimming pools shall be constructed and all equipment and utilities must be located not less than the minimum setback and offset requirement for buildings located within the zoning district where such swimming pool is located.
 - A private pool shall be at least 10 feet from the residence, except for a portion that is 4 feet in depth or less and used for ingress or egress to the pool, such as a stair well area, which portion only can be reduced to 8 feet. A private swimming pool shall not be less than 4 feet from any wall or fence.
 - There is an exception for IN GROUND pools. In ground pools may extend into the rear yard, but no closer than fifteen (15) feet from a property boundary or five (5) feet from an easement.
 - No private swimming pool or spa may be located in a front yard unless specifically authorized in the City Zoning Code.
 - Private swimming pools shall be located from the required distances from wells and septic systems as required by COMM 83, Wis. Adm. Code.
- (g) Fences. The fencing requirement shall be applicable to all private swimming pools, including those constructed before enactment of this Ordinance.
1. Every private swimming pool shall be completely surrounded by a fence or wall not less than 4 feet in height, but not to exceed 6 feet in height, be of sufficient strength to prevent accidental access, and shall be constructed so as not to have openings, holes or gaps larger than 4" in any one dimension, which would allow ease of access by unauthorized persons, except for doors or gates. A dwelling house or accessory building may be used as part of such enclosure. All gates or doors shall be equipped with an inside self-closing and self-latching device for keeping the gate or door securely closed at all times when not in actual use, except that the door of any dwelling which forms a part of the enclosure need not be so equipped.
 2. A temporary fence (snow fence, etc.) can be used while said pool is under construction. A permanent fence must be constructed within 30 days after water is in the pool.
 3. Above-ground pools with self-providing fencing to prevent unguarded entry will be allowed without separate additional fencing provided the self-provided fence is of minimum required height and design as heretofore specified. All access from grade to above ground pools having ladders, stairs, or ramps shall not have less than equal safeguard protection provided the pool proper.
 4. The requirement of a fence may be waived by the Building Inspector of the City of Pewaukee if the pool is an above-ground pool and if the deck of said pool is at least 4 feet above grade and the Building Inspector determines from an on-site inspection that, except for ladders or other access devices, the outside pool wall or decking is at least 4 feet above grade and provides no direct access to the pool.



POOLS CONTINUED:

(h) Requirements

1. No pool shall be directly connected to the sanitary sewer or septic system.
2. Provisions shall be made for disinfecting all pool water. No gaseous chlorination shall be permitted.
3. Except for a properly installed diving board, access ladders or safety railings there shall be an unobstructed concrete areaway around the entire pool of at least three (3) feet on in-ground pools.
4. Except for a properly installed diving board, access ladders or safety railings there shall be an unobstructed areaway around the entire pool of at least 3 feet on above-ground pools.
5. Heating units, pumps, and filter equipment shall be located not less than the minimum setback or offset required in the zoning district where the property is located.
6. Any exterior hose bibs to be used in conjunction with the filling of any swimming pools shall have an anti-siphoning type valve.
7. No swimming pool may be drained onto the lands of neighboring or adjacent property.
8. Decks shall be constructed in accord with the provisions of COMM 21.225, Wis. Adm. Code, or subsequent revisions and shall be considered an integral part of the swimming pool which shall comply with all applicable setbacks and offsets per the City Zoning Code.

(i) Electrical regulations.

1. All electrical installations provided for, installed, and used in conjunction with a private swimming pool shall be in conformance with the national, state, and local codes regulating electrical installations.
2. Overhead flood or other artificial lights used to illuminate a pool shall be shielded or positioned to eliminate direct light and minimize reflected light onto adjoining properties and roadways.

(j) Nuisances. No pool shall be so operated or maintained as to create a nuisance, any eyesore or otherwise to result in a substantial adverse effect on neighboring properties, or to be in any other way detrimental to the public health, safety and welfare.

(k) Sanitation. A swimming pool and its appurtenant facilities shall be kept clean and in a sanitary condition.

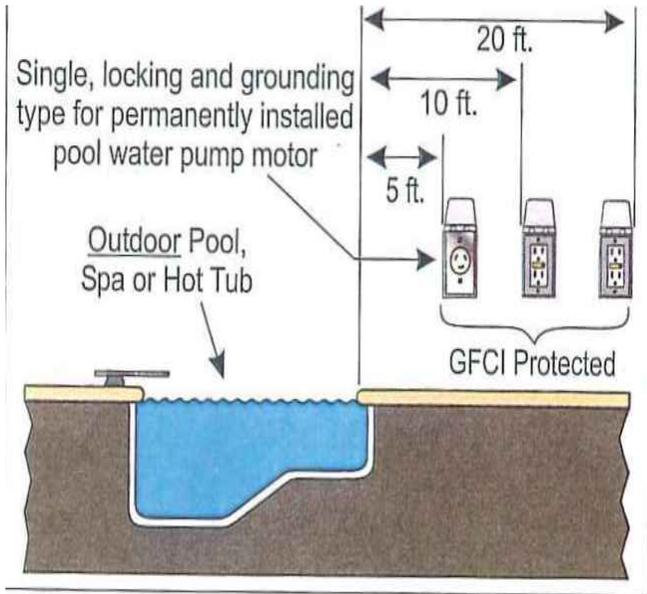


Figure 13.4. Receptacle location requirements

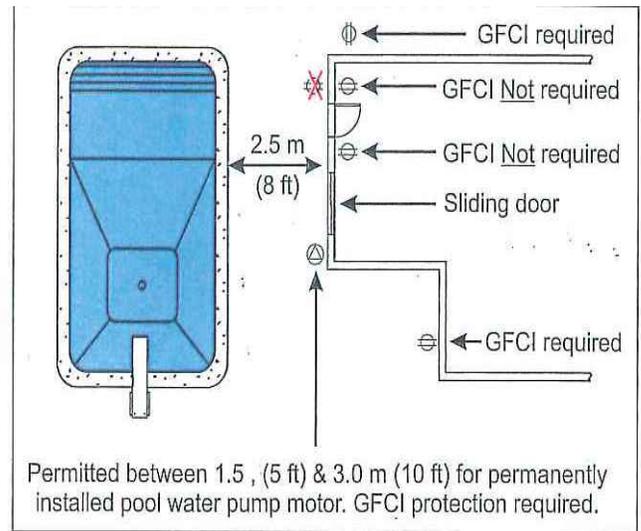


Figure 13.5. GFCI protection of receptacle outlets, permitted location of receptacle outlets, and GFCI protection requirements

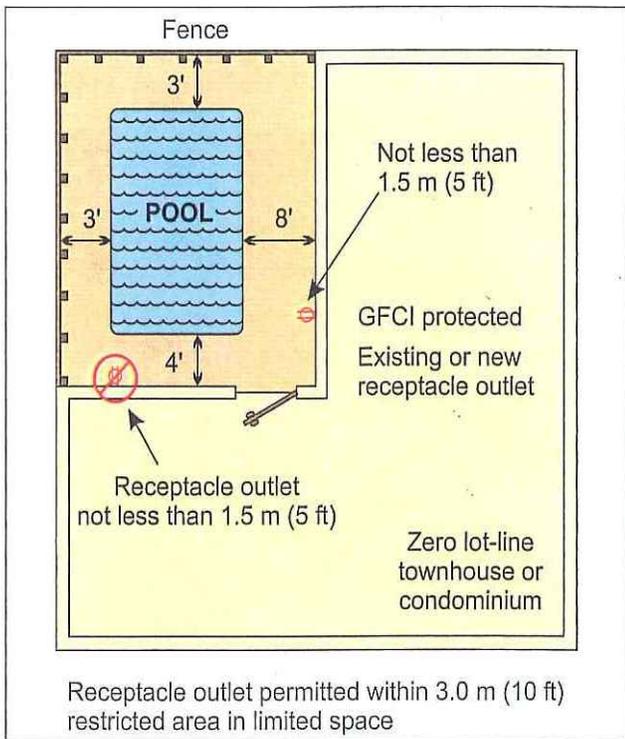


Figure 13.6. Restricted space receptacle locations permitted on lots with size restrictions and limitations

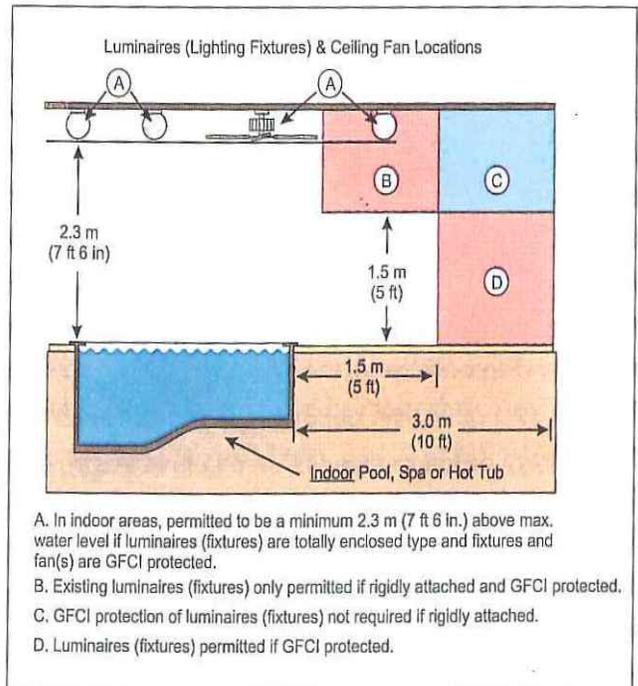


Figure 13.8. Luminaire and fan locations for indoor pool areas