

RESOLUTION NO. 10-09-26

RESOLUTION ESTABLISHING STORM WATER UTILITY RATES

WHEREAS, the Common Council has established a Storm Water Utility within the City of Pewaukee pursuant to Ordinance No. 10-09; and

WHEREAS, in the establishment of the aforementioned Storm Water Utility, three charges have been established, including the Base Charge (BC), the Equivalency Charge (EC), and the Special Charge (SC); and

WHEREAS, the initial rate has not been set by the Ordinance.

NOW, THEREFORE, BE IT RESOLVED, that effective **September 7, 2010**, the monthly rates shall be as follows:

- A. Base Charge (BC) = \$0.00
- B. Equivalency Charge (EC) = \$10.00 per Equivalent Runoff Unit (ERU)
- C. Special Charge (SC) = \$0.00

The number of ERUs on a parcel is determined as follows:


- a. Developed Single-Family Residential Parcels
 - 1. All residential parcels are placed into three (3) tiers based on the zoning classification of the parcel.
 - a) Tier 1 (zoning categories Rs-1, Rs-2, and Rs-3) are assigned 1.3 ERUs per developed parcel.
 - b) Tier 2 (zoning categories Rs-4 and Rs-5) are assigned 1.1 ERUs per developed parcel.
 - c) Tier 3 (zoning categories Rs-6 and Rs-7) are assigned 0.75 ERUs per developed parcel.
- b. Developed Two-Family (Duplex) Residential Parcels
 - 1. All Two-Family residential parcels are assigned 1.1 ERUs per developed parcel.
- c. All Other Developed Parcels that are not either Single-Family or Two-Family (Duplex) Residential Parcels
 - 1. Are calculated by dividing the total square footage of measured impervious area on the parcel by the square footage of one (1.0) ERU which equals 5,339 square feet as defined in the Storm Water Utility Ordinance. The number of ERUs shall be rounded to the nearest one-tenth (0.1).
 - 2. In the instance where more than one parcel share common interest in impervious area (such as with some condominium developments), the impervious areas on

all related parcels shall be evenly divided amongst all property owners unless another distribution is established by ownership.

- d. Undeveloped Parcels (parcels with less than 267 square feet of impervious surface)
 - 1. Are assigned zero (0.0) ERUs
 - 2. Special considerations for single-family and two-family (duplex) residential parcels
 - (a) In the instance where a Developed Single-Family or Two-Family Residential Dwelling is situated on more than one parcel, a single parcel shall be identified as the primary and assigned the appropriate tier for that parcels zoning classification. The remaining parcel(s) shall be set to zero (0.0) ERUs.
 - (b) In the instance where a Developed Single-Family Residential Parcel does not contain a dwelling unit and is not associated with an adjacent parcel under common ownership that does contain a dwelling unit, but does contain other impervious surfaces of 267 square feet or greater, the parcel shall be treated in the same manner as Other Developed Parcels as described above.

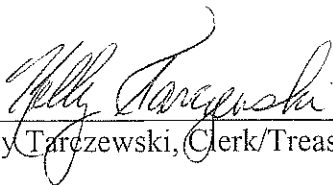
Introduced and adopted at a regular meeting of the Common Council of the City of Pewaukee, this 7th day of September, 2010, a quorum of the Common Council being present.

CITY OF PEWAUKEE



Scott Klein, Mayor

ATTEST:



Kelly Tarczewski, Clerk/Treasurer